

Price list

Current at 18:00 PM 27 July 2024



Rural - Aria

Lot No.	Stage	Street Name	Area (m ²)	Frontage (m)	Titles	Price (\$)	Notes
111	1	Sonoma Way	6,266	30.0	Titled	\$815,000	Small Acreage (CZ)
112	1	Aria Entrance	2,401	42.0	Titled	\$720,000	Small Acreage (CZ)
114	1	Aria Entrance	2,100	36.0	Titled	\$675,000	Small Acreage (CZ)
115	1	Aria Entrance	7,356	52.0	Titled	\$810,000	Country (CZ)
116	1	Aria Entrance	4,785	72.0	Titled	\$790,000	Small Acreage (CZ)
118	1	Aria Entrance	4,011	51.0	Titled	\$782,000	Small Acreage (CZ)
127	1A	Crown Line Drive	3,159	40.0	Aug 2024	\$720,000	Small Acreage (CZ)
128	1A	Crown Line Drive	2,832	50.0	Aug 2024	\$700,000	Small Acreage (CZ)
208	2	Crown Line Dr	2,895	41.0	Nov 2024	\$710,000	Small Acreage (CZ)
211	2	Crown Line Dr	41,080	34.0	Nov 2024	\$1,050,000	Large Acreage (CZ)
212	2	Crown Line Dr	20,460	26.0	Nov 2024	\$990,000	Large Acreage (CZ)
213	2	Crown Line Dr	2,118	25.0	Nov 2024	\$655,000	Large Acreage (CZ)
215	2	Crown Line Dr	10,200	40.0	Nov 2024	\$900,000	Large Acreage (CZ)

Price includes front entry statement (post and rail).

Prices shown are inclusive of GST and subject to change without notice.

BAL ratings may apply – please request disclosures to BAL rating details.

Resale lots are excluded from any promotion or incentive with LWP may offer from time to time

A 10% deposit required on each block, you will have 3 weeks to sign & exchange contract from when the conveyancer receives the land contract.

Call Ben Justin - 0400 500 114 - bjustin@lwpproperty.com.au



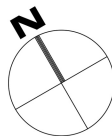


..... Approximate Driveway & Entry Feature Location

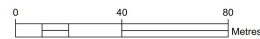
All easements, dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and should not be taken as a representation in any respect on the part of the vendor or its agent.

SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

NOTE: Refer to Stage 1 & 1A Disclosure Plan for details on lot levels, retaining walls and services.



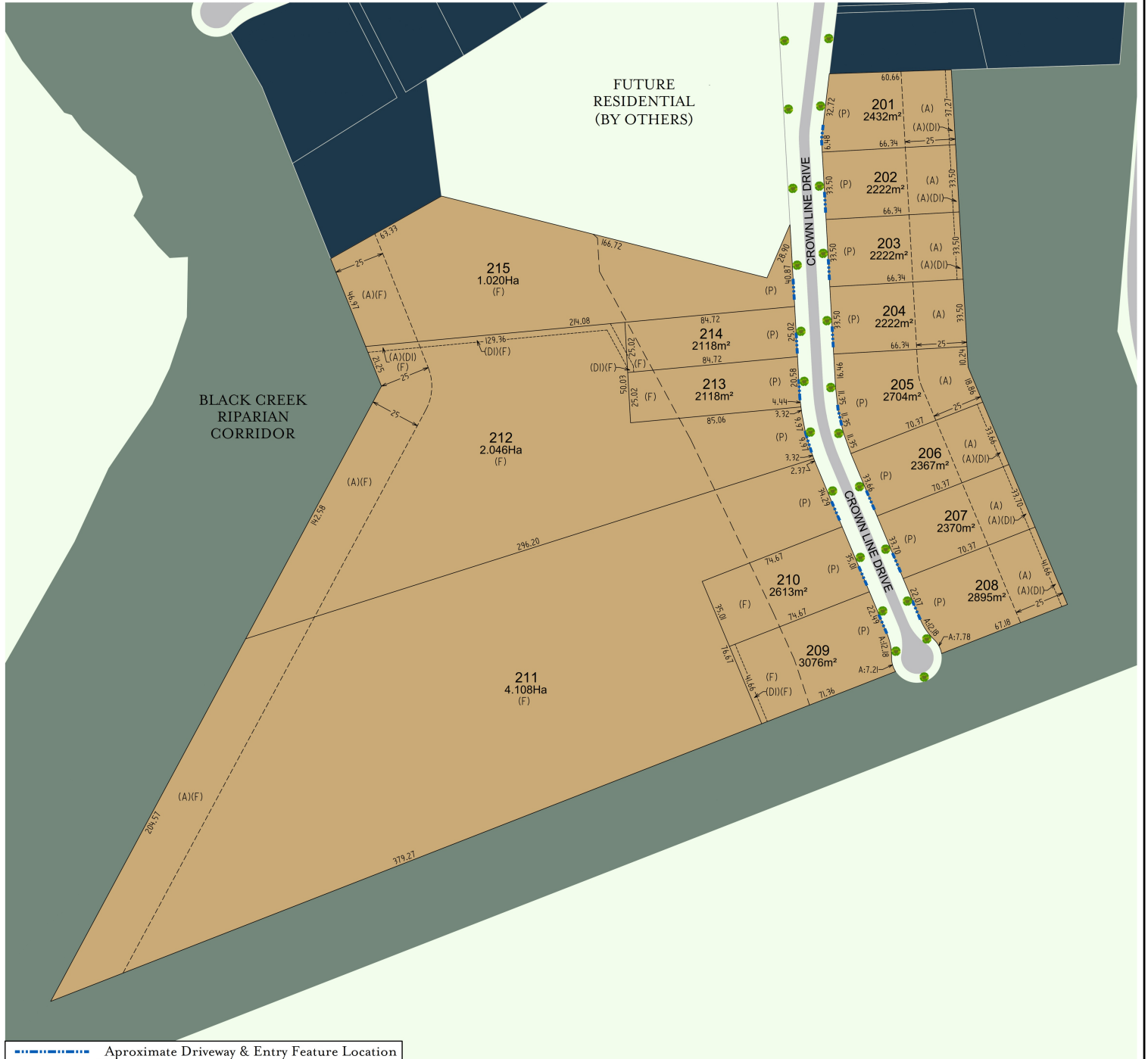
STAGE 1 & 1A (PRELIMINARY)



- (P) Primary Frontage
- (AI) Proposed Asset Protection Zone 5.24 & 25
- (A2) Proposed Asset Protection Zone Variable Width
- (DI) Proposed Easement to Drain Water 1.5m Wide
- (D2) Proposed Easement to Drain Water 2.0m Wide
- (D3) Proposed Easement to Drain Water 3.0m Wide
- (EF) Proposed Easement for Entry Feature
- (F) Proposed Restriction on the Use of Land
- (R) Proposed Right of Access 3.5m Wide & Var.

- Aria - Stage 1 & 1A
- Future Residential
- Previously Released
- Riparian/Stormwater Corridors Or Buffer Areas
- Local Park



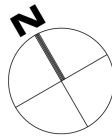


..... Approximate Driveway & Entry Feature Location

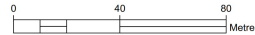
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SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

NOTE: Refer to Stage 2 Disclosure Plan for details on lot levels, retaining walls and services.



STAGE 2 (PRELIMINARY)



- (P) Primary Frontage
- (A) Proposed Asset Protection Zone 25m Wide
- (DI) Proposed Easement to Drain Water 3m Wide
- (F) Proposed Restriction on the use of land

- Aria - Stage 2
- Future Residential
- Previously Released
- Riparian/Stormwater Corridors Or Buffer Areas
- Local Park



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