

Current as at 5th January 2019

LOT NUMBER	STREET NAME	AREA (m <sup>2</sup> )	FRONTAGE (m)	PRICE
1300	Norite Road	378	Corner – see plan	\$265,000
1301	Norite Road	401	12.9	\$270,000
1302	Norite Road	401	12.9	\$275,000
1303	Breccia Grove	357	Corner – see plan	\$255,000
1304	Norite Road	367	Corner – see plan	\$250,000
1305	Norite Road	313	12.5	\$225,000
1307	Norite Road	313	12.5	<b>SOLD</b>
1308	Norite Road	375	15	\$265,000
1309	Norite Road	375	15	\$265,000
1310	Norite Road	358	Corner – see plan	\$255,000
1311	Kenyta Street	348	Corner – see plan	<b>SOLD</b>
1312	Kenyta Street	375	15	\$265,000
1313	Kenyta Street	375	15	\$265,000
1314	Kenyta Street	313	12.5	<b>SOLD</b>
1315	Kenyta Street	313	12.5	\$230,000
1316	Kenyta Street	313	12.5	\$230,000
1317	Kenyta Street	313	12.5	\$225,000
1318	Kenyta Street	356	Corner – see plan	\$250,000
1319	Kenyta Street	409	Corner – see plan	\$270,000
1320	Kenyta Street	312	12.5	\$225,000
1321	Kenyta Street	312	12.5	\$230,000
1322	Kenyta Street	312	12.5	\$230,000
1323	Kenyta Street	375	15	\$265,000
1324	Kenyta Street	375	15	\$265,000
1325	Kenyta Street	375	15	\$265,000
1326	Kenyta Street	375	15	\$265,000
1327	Kenyta Street	374	Corner – see plan	\$260,000
1328	Minette Road	496	13.18	\$320,000
1329	Minette Road	375	12.5	\$265,000
1330	Minette Road	375	12.5	\$265,000
1331	Minette Road	375	12.5	\$265,000
1332	Minette Road	420	14	\$290,000
1333	Norite Road	365	Corner – see plan	\$260,000
1334	Norite Road	338	15.37	\$250,000
1335	Greywacke Entrance	389	Corner – see plan	\$265,000
1340	Greywacke Entrance	344	12.7	<b>SOLD</b>
1341	Greywacke Entrance	353	14.4	<b>SOLD</b>

Fencing and Front Landscaping Package included\* • The Nursery at Aspiri is NBN connected and ready • Titles are expected to issue in early 2019 •

\*Subject to Conditions. Prices may change without notice. Prices are GST inclusive (Margin Scheme).

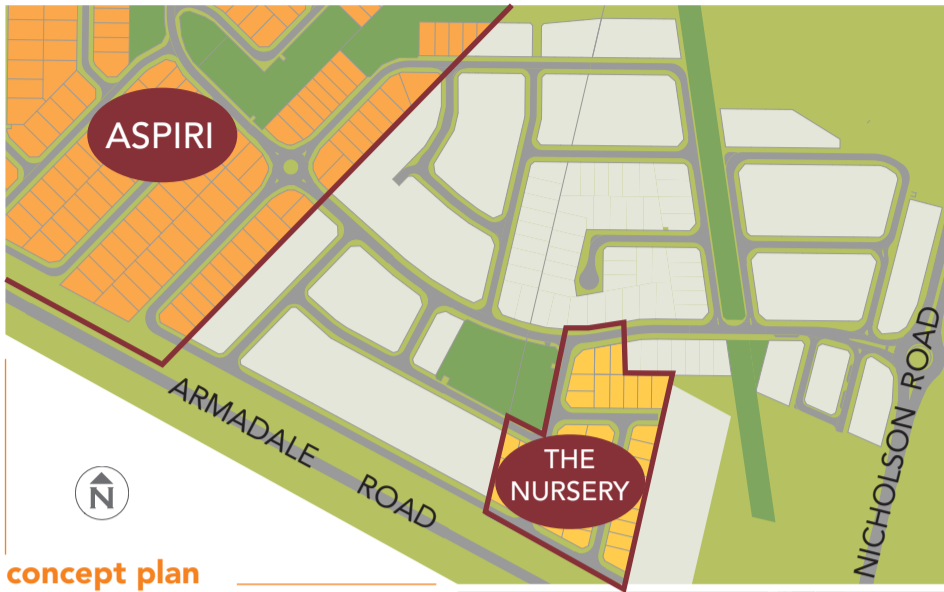
**Contact:** Jason                      **9525 4444**  
 jinferrera@lwpproperty.com.au  
 www.aspiri-piarawaters.com.au

Disclaimer: Whilst every care has been taken with the preparation of these particulars which are believed to be correct, they are no way warranted by the selling agent or our clients either in whole or in part and should not be construed as forming part of any contract. Any intending purchasers are advised to make enquiries as they deem them necessary to satisfy themselves on all matters in this respect. All areas and dimensions are subject to final survey.

# Sales Plan



**ASPIRI**  
THE NURSERY



concept plan

NOTE:  
Fencing and Landscaping package included.



- Current Release
- Development by Others
- Drainage Grate
- Drainage Manhole
- Side Entry Pit
- Subsoil Drainage Pit
- Western Power Dome and Connection
- Western Power Padmount Site
- Street Light
- Lot Level
- Water Connection
- Water Hydrant
- Water Valve
- Retaining Wall
- Sewer Housing Connection/Manhole
- Stormwater Connection Pit and Easement
- 2m High Noise Wall
- Quiet House Design
- Noise Notification
- NBN Connection
- Road Height

Disclaimer: Whilst every care has been taken with the preparation of these particulars which are believed to be correct, they are no way warranted by the selling agent or its clients in whole or in part and should not be construed as forming part of any contract. Any intending purchasers are advised to make necessary enquiries to satisfy themselves on all matters in this respect.

MNG REF: 99281sa-005e DATE: 04/01/19 ©COPYRIGHT

