

## The Glades Commercial Lots Pricelist

Current as at 28 June 2019

Lot No	Street Name	Area (m <sup>2</sup> )	Price From (\$)	Zoning	Titles	Notes
1152	2 Doley Rd, Byford	1,889	700,000	Residential	Titled	<b>Lot is subject to various conditions</b>
152	Granfell Way	2,385	690,000	Residential	Oct 19	<b>Lot is subject to various conditions</b>
Village Centre	Doley and Mead St, Byford	2,553ha	3,900,000	Mixed Use/ Residential	Oct 19	<b>Lot is subject to various conditions</b>

Prices may include side and rear fencing or fibre Optic Cabling

Prices are subject to change without notice and exclusive of GST

Term's & Conditions Apply

**Contact Tony for more information | Tony Naughtin 0417 951 423 | [tnaughtin@lwpproperty.com.au](mailto:tnaughtin@lwpproperty.com.au)**

# LOT PLAN



## Current Sales Office



### LEGEND

Current Sales Office	Display Village	Previous Release	Future Release	Existing Residential
Red Asphalt	Drainage Grate	Street Lights	Western Power Housing Connection	Stormwater Connection Pit and Easement
Brick Paving	Side Entry Pit	Street Lights 1m x 1m Road Widening	Western Power Padmount Site	Sewer Housing Connection /Manhole
Footpath	Drainage Manhole	Hydrant	Limestone Retaining Wall	Crossover
Future Road	Lot Levels	Valve		
BAL - Low	Left In Left Out Access Lots			

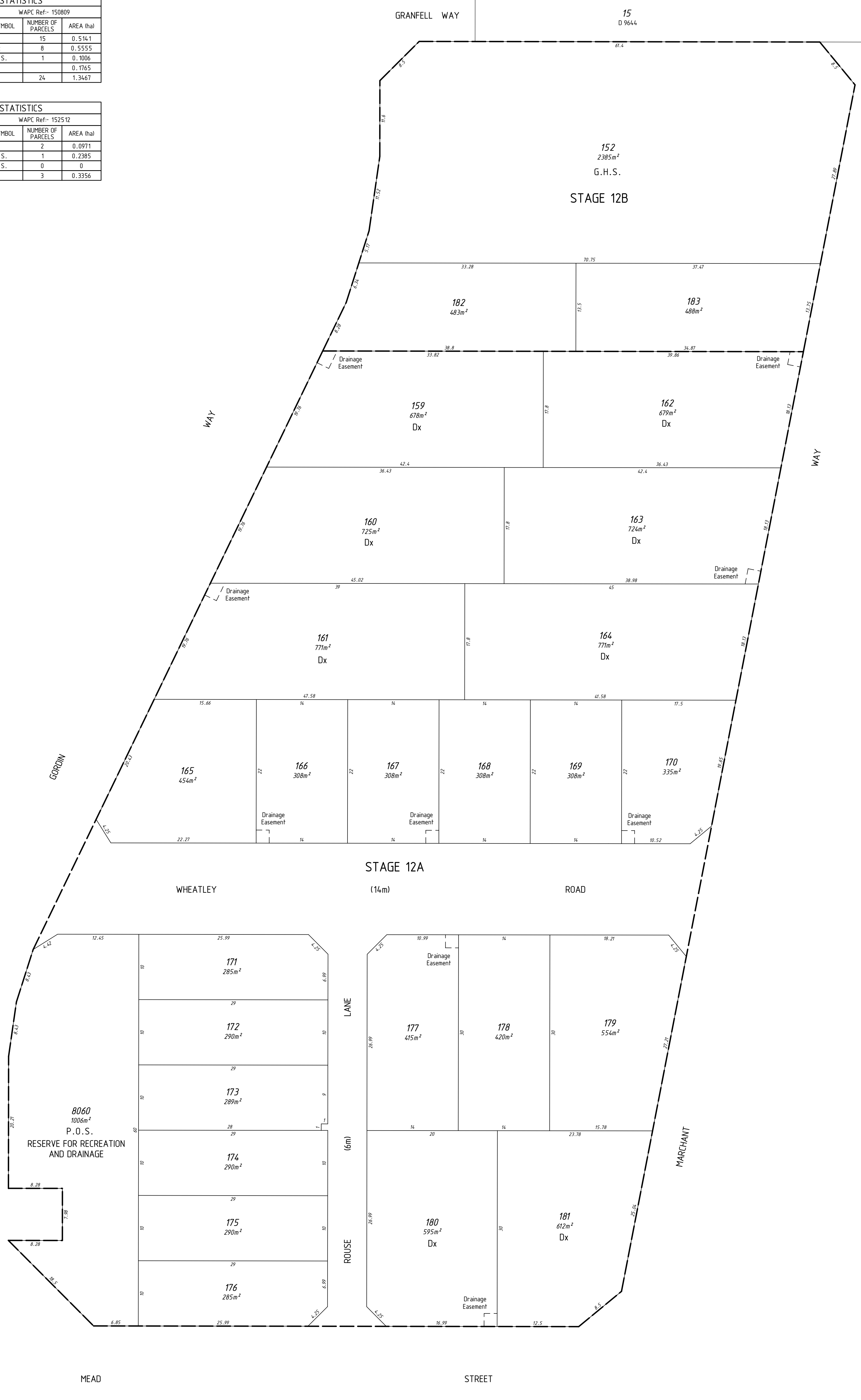
Note 1 : Lots abutting laneways may be subject to a 1m x 1m Light Pole easement or road widening.

Note 2: This plan is indicative only and may be subject to change. All dimensions and areas are subject to survey. The particulars on this brochure are supplied for identification purposes only and shall not be taken as a representation in any respect on the part of the vendor or it's agents. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. Some services may not be shown, as engineering design is still to be finalised. Selected existing trees to remain.

**All Engineering, Electrical, Cadastral & Encumbrances are still to be designed and are subject to change.**

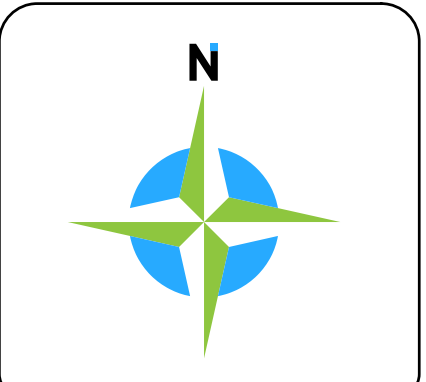
LAND USE / STATISTICS			
STAGE 12A			
WAPC Ref:- 150809			
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		15	0.5161
Duplex Lots	Dx	8	0.5555
Public Open Space	P.O.S.	1	0.1006
Roads (inc. Truncations)			0.1765
<b>STAGE TOTAL</b>		<b>24</b>	<b>1.3467</b>

LAND USE / STATISTICS			
STAGE 12B			
WAPC Ref:- 152512			
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		2	0.0971
Group Housing Lots	G.H.S.	1	0.2385
Public Open Space	P.O.S.	0	0
<b>STAGE TOTAL</b>		<b>3</b>	<b>0.3356</b>



Ver.	Description	Drawn	Date	Checked
H	Amend Stage 12B	KSI	23/02/2017	CAY
G	Redesign stage 12B	GDC	01/06/2016	CAY
F	Move drainage easement from lot 181 to lot 180	ER	18/09/2015	AMJ
E	Move drainage easement from lot 169 to lot 170	SCL	18/06/2015	GDC
D	Break into Stages 12A & 12B, add street light to lot 173 and add drainage easements to lots 159, 161, 162, 163, 166, 167, 169, 177 & 181 and amend abutting road name	SCL	3/06/2015	SDW
C	Add the approved road names	ER	12/05/2015	SDW
B	Show DX lots, amend lots 151-159 & 162 and add new lots 182 & 183	AMJ	19/02/2015	SDW
A	Initial Issue	AMJ	7/1/2015	SCL

FILES
map\COGO - Plan 709
Control Register:-
File Name:- 93912pr-709h.dgn



**THE GLADES**  
**STAGE 12A & 12B - SUBDIVISION OF LOT 283**  
 Byford



CLIENT:  
 The contents of this plan are current and correct as of the date stated within the revision panel. All consultants and persons wishing to utilise this data should satisfy themselves of this plan's currency by contacting the Mullen Nolan Group.

SCALE 1:300 @ A1  
 ALL DISTANCES ARE IN METRES  
 For a true to scale reproduction of this plan, plot it to A1 with the Paging Scaling set to None.

PLANNER'S DESIGN SOURCE for Rev G  
 Planner - TBB  
 Received date- 25/05/2016  
 File name- 06\_014\_213A\_SUBP\_L283\_(160502)

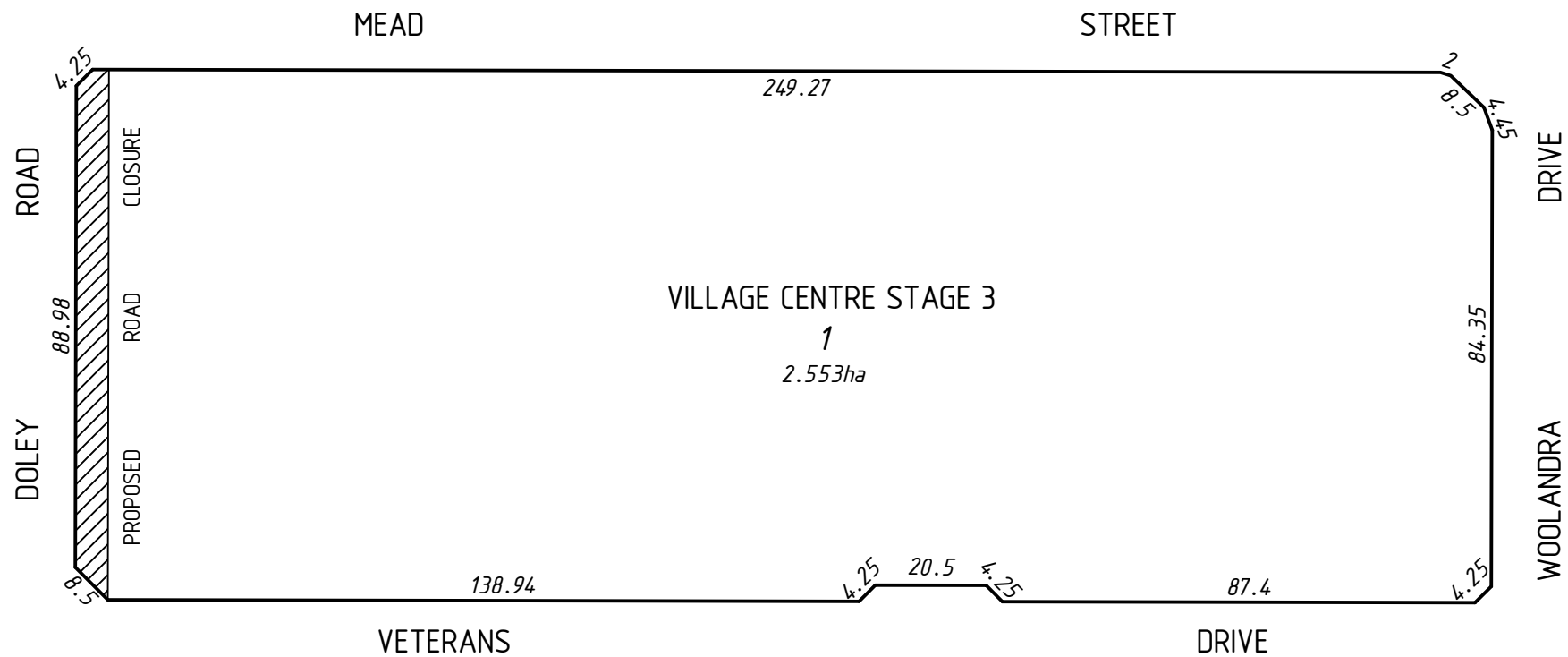
ENGINEER'S DESIGN SOURCE for Rev Engineer -  
 Received date-  
 Data purpose-

All areas and dimensions depicted on this plan are subject to survey and Landgate registration. All cadastral information external to the stage's which form the subject of this plan are not guaranteed and are supplied as a guide only.



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Project Mngr:	Charles YOUNGE	Datum	PCG94
<b>93912 - 709 - H</b>			
Job Number	Plan Number	Version	



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PRECAL OF VILLAGE CENTRE STAGE 3 - ENGLOBO LAND



Scale 1: 1250