

Price list

Current at 08:00 AM 27 April 2024



North East - Banksia Grove

Lot No.	Stage	Street Name	Area (m ²)	Frontage (m)	Titles	Price (\$)	Notes
4732	57	Woylie Way	313	13.3	Titled	\$250,000	Cnr side garage lot, opposite a park.

Coda - Banksia Grove

Lot No.	Stage	Street Name	Area (m ²)	Frontage (m)	Titles	Price (\$)	Notes
5175	3B	Joseph Banks Boulevard	297	8.5	Titled	\$180,000	Two Storey Requirement

Price includes front yard landscaping, side & rear fencing and access to state of the art fibre optic telecommunications network. Prices shown are inclusive of GST and subject to change without notice.

BAL rating applies

* Quiet House Design requirement

Resale lots are excluded from any promotion or incentive Satterley may offer from time to time

Written finance pre-approval from a finance broker or financial institution is required prior to purchase. A \$3,000 deposit is required at time of signing an Offer & Acceptance.

For more information, email banksiagrove@satterley.com.au or call: 0497 007 977

STAGE 57

PLAN

All Enquiries 9485 1100 | banksiagrove.com.au



BANKSIA GROVE



LEGEND

- R30 Lots
- R40 Lots
- R60 Lots
- Previously Released
- Housing Authority Retained Lot
- Sewer Manhole & Housing Connection
- Western Power Padmount Site
- Fire Risk Zone
- Uni Pillar Power Dome and Connection
- Mini Pillar Power Dome and Connection
- Street Light & Street Light Road Widening
- Lot Level
- Road Levels at Design
- Side Entry Pit
- Drainage Grate
- Drainage Manhole
- Brick Paving - Stonewash Silver
- Brick Paving - Stonewash Charcoal
- Brick Paving - Charcoal
- Restricted Access
- Retaining Walls with Stairs
- Footpaths
- BAL 12.5
- Quiet House Design
- Optical Fibre Communication
- Water Connection
- "D" Deferred Water Service
- Water Valve & Hydrant



Subject to Approvals and Survey.
 All Dimensions and Areas are subject to survey. The particulars on this brochure are supplied for identification purposes only and shall not be taken as a representation in any aspect on the part of the vendor or its agents. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls, services and associated easements are shown exaggerated for legibility.

All Cadastral, Landscaping and Engineering is subject to change and final design specifications.

All Street Names are PRELIMINARY and subject to Approval and may change without warning. All Trees are Indicative Only.

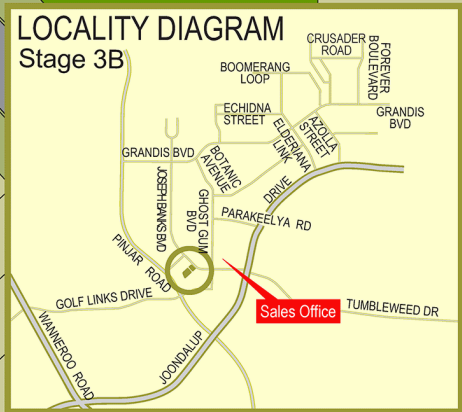
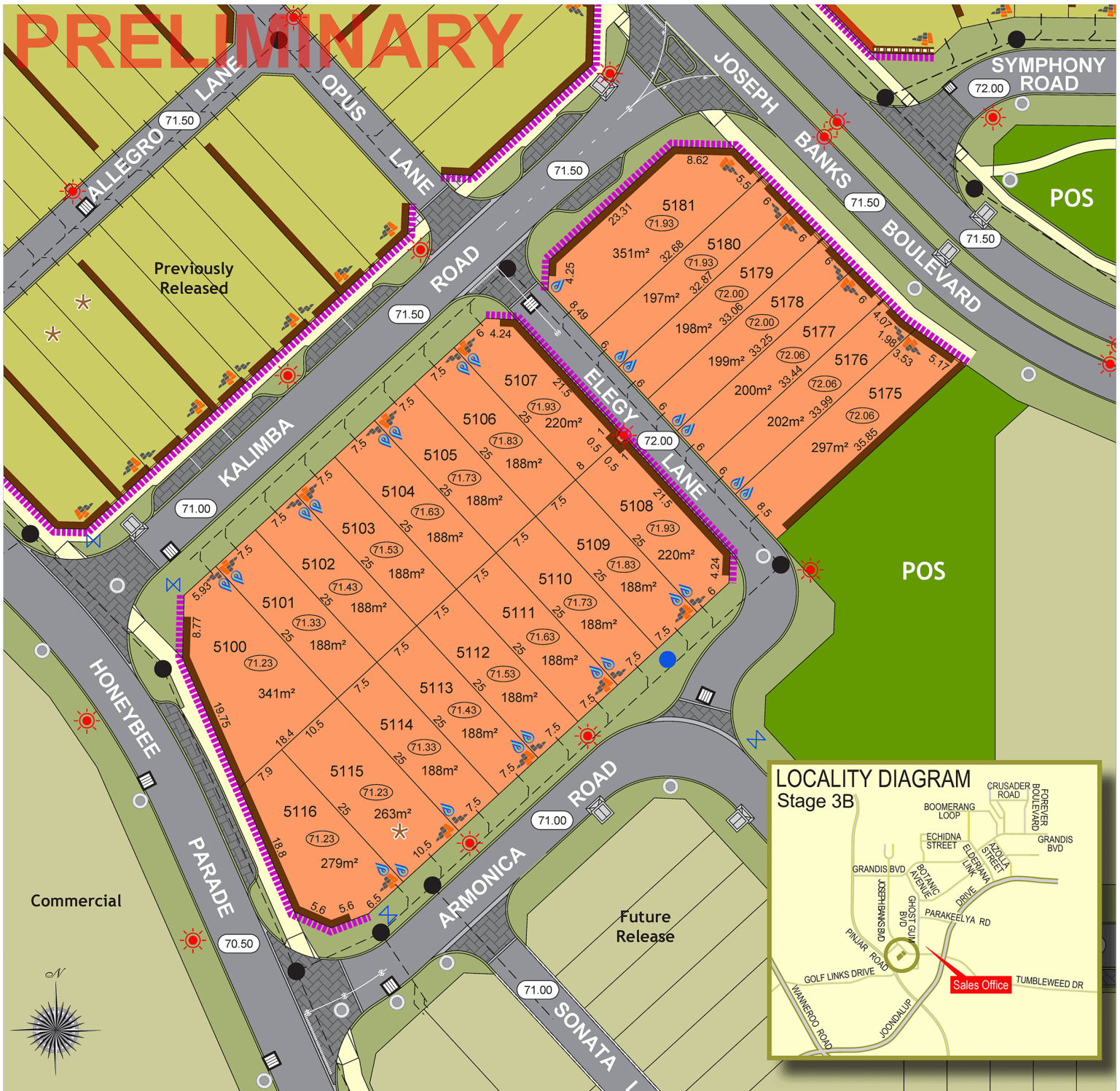
MNG. McClussen Nohr Group
 Level 1, 2, Sabre Crescent, Sandlot WA 6164
 PO Box 3526, Success WA 6164
 Phone 94 6416 2100 Fax 94 6416 1500
mngsurvey.com.au



PRELIMINARY

Stage 3B Plan

All Enquiries 9485 1100 | codaliving.com.au



LEGEND

- | | | | |
|---------------------|---|------------------------------------|-----------------------|
| RMD60 Lots | Western Power Padmount Site | Brick Paving - Silver | Side Entry Pit |
| Previously Released | Western Power Housing Connection | Brick Paving - Charcoal | Drainage Grate |
| Future Commercial | Street Light & Street Light Road Widening | Footpaths | Drainage Manhole |
| | Below Ground Service Pit and connection | Sewer Manhole & Housing Connection | Retaining Walls |
| | Water Connection | Housing Authority Retained Lot | Lot Level |
| | Water Valve & Hydrant | Restricted Access | Road Levels at Design |
| | | Optical Fibre Communication | |

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